

TOWN & COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 1995 HOUSEHOLDER DEVELOPMENT QUESTIONNAIRE

This form should be completed to find out if you need planning permission for extensions or other alterations to your dwelling.

You only need to complete the section(s) that relate to your proposal(s).

The Council's reply will be based on the information you supply. If the information you provide is incorrect then the Council's reply is not valid, and you may breach planning law if you carry out the works. If you alter the scheme then you should submit a revised form.

All measurements must be in metric units (i.e. m [metres], cm [centimetres] or mm [millimetres]), be exact and measured externally.

Whilst this form is intended to cover the details required in connection with the majority of domestic proposals, there may be cases where the Council may need to contact you to obtain additional information.

A copy of this questionnaire will be returned with the Council's reply. You are advised to keep the copy with your deeds or in a safe place. It may be important if you sell your property.

In addition to planning permission (or listed building consent if your property is listed), you may also need a separate consent under the Building Regulations. You should contact Building Control on 01629 761321.

N.B. Buildings cannot be erected over public sewers without the agreement of the Water Company. You should also ensure that you comply with other legal requirements such as The Party Wall Act 1996 and any legal covenants on the property. If the property is rented, you may also need the permission of your landlord.

Further advice and information can be found on The Planning Portal at www.planningportal.co.uk.

**Return completed form to Head of Planning Services,
Derbyshire Dales District Council,
Town Hall, Matlock, Derbyshire, DE4 3NN
or by e-mail to planning@derbyshiredales.gov.uk.
Tel: 01629 761336 Fax: 01629 761163 Website: www.derbyshiredales.gov.uk**

1. Your Details and Details of Existing Dwelling

| | | | |
|------------------------------------------------------------------------------------|--|------------------------------------------------|--|
| Name and Address (BLOCK CAPITALS): | | Address of site if different (BLOCK CAPITALS): | |
| Postcode Tel No(s). Mobile E Mail Fax No. | | Postcode | |

| Existing Property Type (Tick As Appropriate) | | | | | | | |
|----------------------------------------------|--------------------------|---------------|--------------------------|----------|--------------------------|----------------------------------------------------------|--------------------------|
| Detached | <input type="checkbox"/> | Semi Detached | <input type="checkbox"/> | Terraced | <input type="checkbox"/> | Flats (there is no 'permitted development' for flats) | <input type="checkbox"/> |

| | | | | |
|---------------------------------------------------|-----|--------------------------|----|--------------------------|
| Is the property used for any non-residential use? | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> |
| If yes please give details | | | | |

| | | | | |
|-------------------------------------------------------------------|-----|--------------------------|----|--------------------------|
| Is any part of the building used or intended to be used as flats? | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> |
|-------------------------------------------------------------------|-----|--------------------------|----|--------------------------|

| Is the property a Listed Building or in a Conservation Area | | | | | | |
|-------------------------------------------------------------|-----|--------------------------|----|--------------------------|------------|--------------------------|
| Listed Building? | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> | Don't know | <input type="checkbox"/> |
| Conservation Area? | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> | Don't know | <input type="checkbox"/> |

| | | | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|--------------------------|----|--------------------------|
| Has the property been extended, any outbuildings built or decking erected since the dwelling was first built (or after 1 st July 1948 if built earlier)? If YES, give details of the sizes in the chart below: | Yes | <input type="checkbox"/> | No | <input type="checkbox"/> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|--------------------------|----|--------------------------|

N.B. This includes dormer windows, garages, carports, conservatories and detached outbuildings, such as sheds and greenhouses etc. and must include any such work done by previous occupiers of the dwelling.

| Description of the previous development (e.g. single storey rear; detached garage; decking etc.) | Length | Width | Height | | |
|--------------------------------------------------------------------------------------------------|--------|-------|----------|----------|-----------|
| | | | To Ridge | To Eaves | Flat Roof |
| | m | m | m | m | m |
| | m | m | m | m | m |
| | m | m | m | m | m |
| | m | m | m | m | m |

2. Please complete this section if it is proposed to either extend onto the existing dwelling (including decking where this is attached to the dwelling), or carry out any other alteration to the existing dwelling (e.g. provision of new window or door opening)

| | | | | | |
|---|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|--|--------------|------|
| a | Will the extension be single storey or 2 or more storeys? | Single | | 2 or more | |
| b | Is the proposal within 2 metres of any boundary? | Yes | | No | |
| c | Is the proposal within 7 metres of the rear boundary? | Yes | | No | |
| d | Are you proposing to put any upper floor windows in a side elevation of either the existing dwelling or any proposed extension? | Yes | | No | |
| e | If you are proposing a porch, how far away will it be from the nearest road or footway? | Less than 2m | | More than 2m | |
| f | Are you proposing any raised platform (e.g. decking) as part of your proposals? | Yes | | No | |
| | If YES, will any part of it exceed 300mm above ground level? | Yes | | No | |
| g | Are you proposing any veranda or balcony as part of your proposals? | Yes | | No | |
| h | What type of roof are you proposing (e.g. dual pitched, sloping, flat)? | Dual | | Sloping | Flat |
| | | | | | |
| i | Will any part of your extension be higher than the highest part of your existing roof? | Yes | | No | |
| j | Will the eaves of your extension be higher than the eaves of your existing roof at the point the extension is attached to the dwelling? | Yes | | No | |
| k | Will the roof pitch be the same as the original dwelling house?* | Yes | | No | |
| l | Will all materials used in any part of the exterior (excluding any conservatory) be of a similar appearance to those of the exterior of the existing dwelling house? | Yes | | No | |
| m | Will the works include any new, altered or replacement chimneys, external flues or external pipes? | Yes | | No | |
| | If yes, will this be over 1 metre higher than the highest part of your existing roof? | Yes | | No | |
| n | Are you proposing to create or alter a vehicular or pedestrian access to the dwelling? | Yes | | No | |
| o | Does your proposal involve the demolition of any other buildings? | Yes | | No | |
| | If yes please give details | | | | |

* Original is the dwelling as it was built or as it existed on 1st July 1948 if it was built before that date.

Please ensure that you include details of any item included in this section in a sketch plan or plans in Section 6 of this form

3. Please complete this section if it is proposed to carry out any loft conversions, insert dormers, rooflights and/or carry out any other roof alterations

| | | | | | |
|---|-----------------------------------------------------------------------------------------------------------------------------------------|-----|--|----|--|
| a | Will your proposal be higher than the existing highest part of your roof? | Yes | | No | |
| b | Will your proposal be on an elevation that faces a highway? | Yes | | No | |
| c | (Other than for a hip to gable extension) Will the edge of any enlargement be less than 20cm from the existing house eaves? | Yes | | No | |
| d | Will the works include any new, altered or replacement chimneys, external flues or external pipes? | Yes | | No | |
| | If yes, will this be over 1 metre higher than the highest part of your existing roof? | Yes | | No | |
| e | Are any upper floor windows proposed in an existing or proposed side elevation? | Yes | | No | |
| f | If any rooflights are to be inserted into the existing roof, would these protrude more than 150mm from the current roof plane? | Yes | | No | |
| g | Are you proposing any veranda, balcony, or raised platform as part of your proposals? | Yes | | No | |
| h | Will all materials used in any part of the exterior be of a similar appearance to those of the exterior of the existing dwelling house? | Yes | | No | |
| i | Will the roof pitch be the same as the original dwelling house?* | Yes | | No | |

*** Original is the dwelling as it was built or as it existed on 1st July 1948 if it was built before that date.**

Please ensure that you include details of any item included in this section in a sketch plan or plans in Section 6 of this form

4. Please complete this section if it is proposed to build any outbuildings (including detached garages, garden sheds, greenhouses, playhouses etc.) or enclosures, swimming or other pools and/or provide any domestic fuel tanks

| Outbuildings, enclosures and pools | | | | | | | |
|-------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|---------------|--|-------------------|--|------|--|
| a | Will this be at the front, side or rear of the house? | Front | | Rear | | Side | |
| b | Will any outbuilding be single storey or 2 or more storeys (including rooms to be provided in any roofspace)? | Single storey | | 2 or more storeys | | | |
| c | Will the height of the eaves of any outbuilding be more than 2.5m? | Yes | | No | | | |
| d | What type of roof are you proposing to any outbuilding (e.g. dual pitched, sloping, flat)? | Dual | | Sloping | | Flat | |
| e | Are you proposing any veranda, balcony, or raised platform as part of your proposals? If yes, how high would it be? | Yes | | No | | | |
| f | Will your proposal be more than 20m from the house? If YES, would it have a floor area exceeding 10 square metres (measured externally)? | Yes | | No | | | |
| g | Does your proposal involve the demolition of any other buildings? If yes please give details | Yes | | No | | | |
| h | Will any means of enclosure (e.g. gates, fences, walls) be above 2metres high? | Yes | | No | | | |
| i | Will any means of enclosure that is within 2m of any boundary with a highway (that carries vehicles) be above 1m high? | Yes | | No | | | |

| Domestic Fuel Tanks | | | | | | | |
|----------------------------|-------------------------------------------------------------------------------------------------|-------|--|------|--|------|--|
| a. | Will this be at the front, side or rear of the house? | Front | | Rear | | Side | |
| b. | What type of fuel will be stored (e.g. Gas, Oil, LPG etc)? | | | | | | |
| c. | What will be the capacity (in litres) of the fuel tank? | | | | | | |
| d. | Does your proposal involve the demolition of any other buildings? If yes please give details | Yes | | No | | | |

Please ensure that you include details of any item included in this section in a sketch plan or plans in Section 6 of this form

5 – Please complete this section if it is proposed to provide or replace a hard surface, erect aerials, satellite dishes, solar panels

| Hard Surfacing | | | | | |
|-------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|--------|--|-------|--|
| a | Will the area of hard surfacing be between the front of your house and a road or pavement? | Yes | | No | |
| | If YES, how large is the area (in metres) | Length | | Width | |
| | | m | | m | |
| b | Will the driveway be made of porous materials* | Yes | | No | |
| | If no, how will surface water run-off be drained? | | | | |
| c | Will any hard surface be at the same level as the existing land? | Yes | | No | |
| | If NO how much will the level of the land be increased or decreased (in metres)? | m | | | |
| Aerials, Satellite Dishes or Other Antennae | | | | | |
| c | How many dishes/antenna are you proposing? | | | | |
| d | Are there any existing dishes or antenna on the property? | Yes | | No | |
| | If YES, please provide details of how many and their dimensions. | | | | |
| e | What are all the dimensions (in mm) of the proposed dish/antenna? | | | | |
| f | If you are putting the dish/antenna on the chimney, will it be higher than the existing chimney at any point; and | Yes | | No | |
| | Will any part of the antenna be over 60 centimetres above the highest part of the existing roof? | Yes | | No | |
| g | If your property does not have a chimney, will the dish/antenna be higher than any part of the existing roof? | Yes | | No | |
| h | Will the dish/antenna have a capacity of more than 35 litres (consult the manufacturer's specifications for this)? | Yes | | No | |
| Solar Panels (Including photovoltaic and/or thermal) | | | | | |
| i | Will the solar panel be wholly sited below the highest part of the roof? | Yes | | No | |
| j | Will the solar panel project more than 20cm from the roof or wall? | Yes | | No | |
| k | Will it be visible from a road or pavement? | Yes | | No | |
| l | If fixed to the house, how many panels are being proposed? | | | | |
| m | If not fixed to the house, will all panels be less than 4m above ground level; | Yes | | No | |
| n | If not fixed to the dwelling, how far will the panel(s) be from the nearest boundaries; and | | | | |
| | What are the dimensions of the panels? | | | | |

Please ensure that you include details of any item included in this section in a sketch plan or plans in Section 6 of this form

*Advice about porous materials can be obtained from the planning portal at www.planningportal.gov.uk.

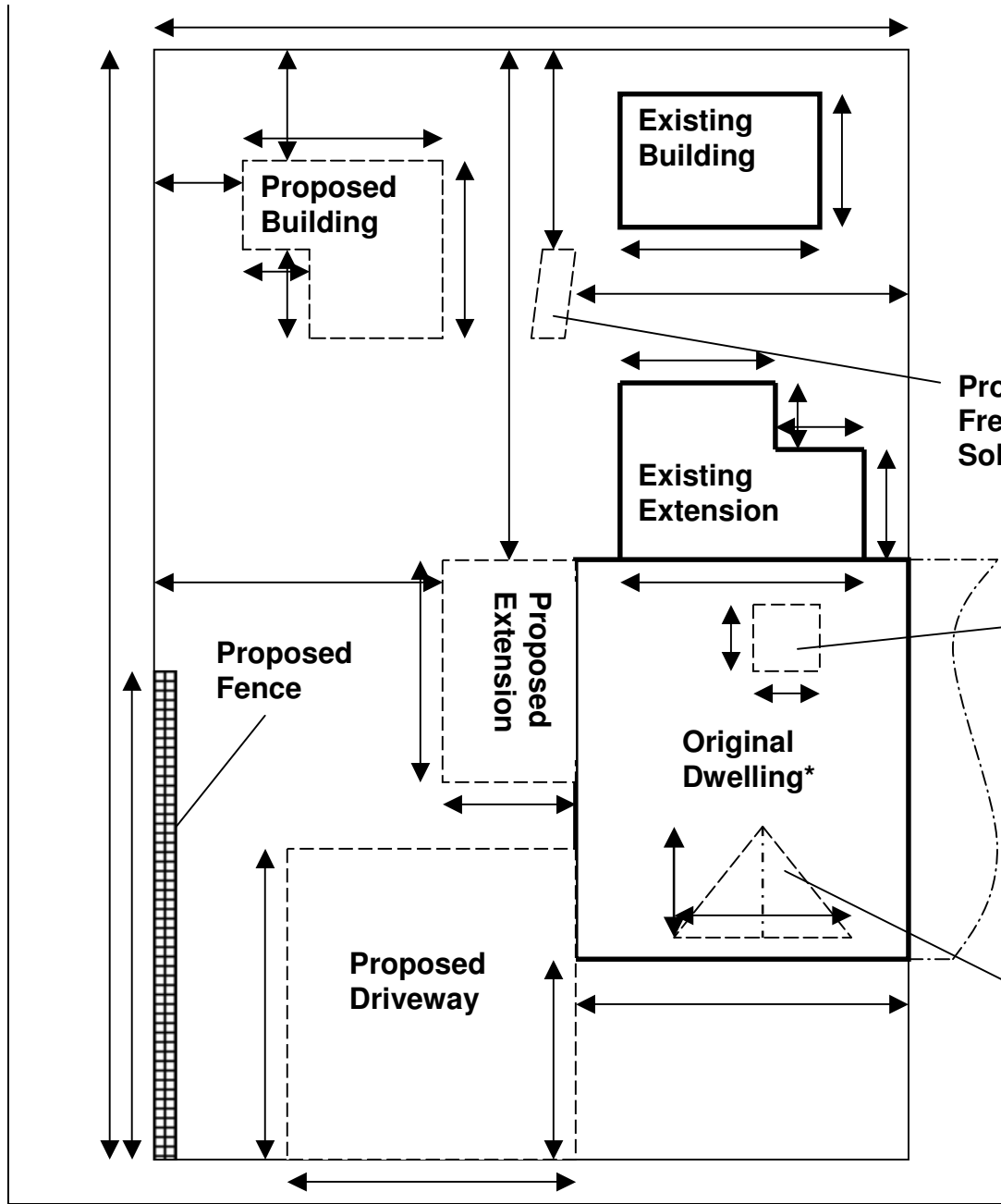
If you do not have access to the internet, then please contact the Council on 01629 761336

6 - SKETCH PLAN

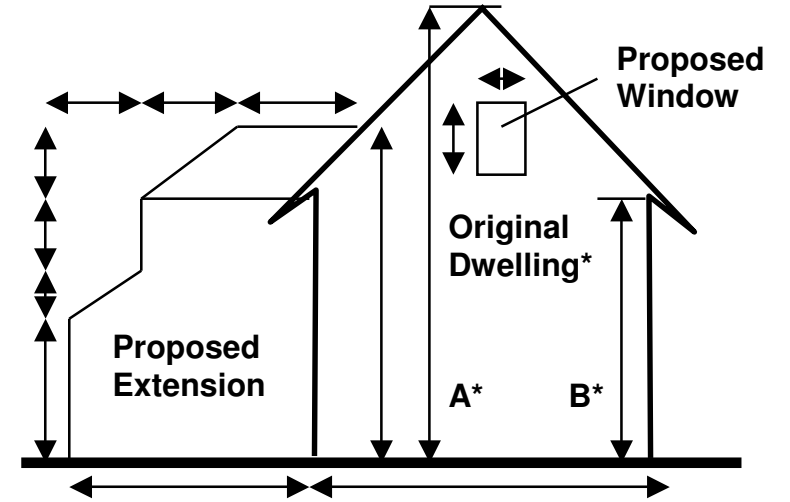
In the space below, please draw a diagram or diagrams of your proposals. It does not need to be to scale, as long as you mark metric dimensions on it. Examples are included on the next page; these are for guidance purposes and are not intended to cover all potential development types. Please ensure that the position and name of any road(s) are clearly shown.

EXAMPLE SKETCH PLANS

Beta Close



Alpha Road



A* = Ridge Height B* = Eaves Height

Original Dwelling* = Dwelling as it was built or as it existed on 1st July 1948 if built before that date.

← → = Required Metric Dimensions (m [metres], cm [centimetres] or mm [millimetres])

Proposed Freestanding Solar Panel

Proposed Rooflight

Proposed Dormer

